

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT  
FOR "Utilities" AT 1901 Golf Road  
(Commonwealth Edison Company Substation)**

**WHEREAS**, Commonwealth Edison Company ("**Owner**") owns the property commonly known 1901 Golf Road within the City's M-1 Business Park District, which property is legally described in **Exhibit A** to this Ordinance ("**Subject Property**"); and

**WHEREAS**, the Owner operates electric utility equipment at the Subject Property, and wishes to install a new ground-mounted utility monopole antenna support structure and associated equipment to be used for its public utility operations ("**Improvements**"); and

**WHEREAS**, in order to construct and operate the Improvements at the Subject Property, the Operator has requested that the City grant a special use permit to authorize "Utilities" at the Subject Property (the "**Requested Relief**"); and

**WHEREAS**, the City's Planning and Zoning Commission ("**PZC**"), after notice was provided as required by law, conducted a public hearing on November 4, 2025 to consider the Requested Relief; and

**WHEREAS**, after taking and considering all testimony presented at the public hearing, the PZC made the findings of fact enumerated in **Exhibit B** and recommended that the City Council approve the Requested Relief; and

**WHEREAS**, the Corporate Authorities of the City of Rolling Meadows have determined that it would be in the best interest of the City to approve the Requested Relief in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rolling Meadows, Illinois:

**Section 1: Recitals.** The recitals set forth above are incorporated herein by reference as the findings of the Corporate Authorities.

**Section 2: Grant of Special Use Permit.** Pursuant to the standards and procedures set forth in Section 122-395 ("Special uses") and the City's home rule authority, and subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 3 of this Ordinance, the City hereby approves a special use permit to authorize "Utilities" at the Subject Property, including both the existing use of the Subject Property and the Improvements.

**Section 3: Conditions.** The Special Use granted in Section 2 of this Ordinance is hereby expressly subject to and contingent on each of the following conditions, restrictions, and provisions:

- A. **No Authorization of Work.** The approvals granted pursuant to this Ordinance do not authorize the development, construction, reconstruction, alteration, demolition, or moving of any buildings or structures on the

Subject Property, but merely authorize the preparation, filing, and processing of applications for any permits or approvals that may be required by the codes and ordinances of the City, including without limitation building permits.

- B. Compliance with Plans. Except for minor changes and site work approved by the Zoning Administrator, the Improvements and the Subject Property must be developed, used, and maintained in substantial compliance with the plans attached as **Exhibit C** ("**Plans**").
- C. Compliance with Applicable Law. In addition to the other specific requirements of this Ordinance, the Improvements, the Subject Property, and all operations conducted thereon and therein must comply at all times with all applicable federal, state, and City statutes, ordinances, resolutions, rules, codes, and regulations, including, without limitation, this Ordinance.
- D. Restricted Use of Improvements. The Improvements shall solely be used for Owner's public utility operations. The Improvements shall not be leased, licensed, or used for small cell facilities, personal wireless services, or any other colocation or telecommunications use.

**Section 4:**

- A. The City shall not be obligated to issue, and may withhold, building permits, certificates of occupancy, and other approvals that do not completely comply with and satisfy the conditions, restrictions, and provisions of this Ordinance.
- B. Upon failure or refusal of the Operator to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, the Special Use granted in Section 2 of this Ordinance may, at the sole discretion of the Corporate Authorities, by ordinance duly adopted, be revoked and become null and void and of no force and effect.

**Section 5:** The privileges, obligations, and provisions of each and every section and provision of this Ordinance are for and inure to the benefit of and run with and bind the Subject Property, unless otherwise explicitly set forth in this Ordinance.

**Section 6:** Nothing in this Ordinance shall create, or shall be construed or interpreted to create, any third-party beneficiary rights.

**Section 7: Effective Date.** This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

*[Signature page follows.]*

**PASSED AND APPROVED** by the City Council of Rolling Meadows, Cook County, Illinois this 25<sup>th</sup> day of November, 2025.

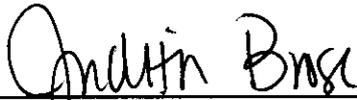
AYES: McHale, Budmats, O'Brien, Boucher, Reyez, Koehler

NAYS: 0

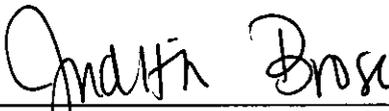
ABSENT: Vinezeano

  
\_\_\_\_\_  
Lara Sanoica, Mayor

ATTEST:

  
\_\_\_\_\_  
Judith Brose, Deputy City Clerk

Published this 26<sup>th</sup> day of November, 2025.

  
\_\_\_\_\_  
Judith Brose, Deputy City Clerk

**Exhibit A**

**Legal Description**

SITUATED IN THE COUNTY OF COOK, STATE OF ILLINOIS, DESCRIBED AS FOLLOWS:

**All that part of the North West quarter of the North East quarter of Section 17, Township 41 North, Range 11 East of the Third Principal Meridian, lying Northerly of the Northerly line of the Illinois State Toll Highway conveyed by document number 16926883 and recorded June 10, 1957 and Southerly of the Southerly line of State Route 58 as widened according to document number 10488005 and recorded September 24, 1929, all in Cook County, Illinois.**

AND

That part of the east half of the northeast quarter of Section 17, Township 41 North, Range 11 East of the Third Principal Meridian described as follows: Commencing at the northwest corner of said east half; thence southerly along the west line of the east half of said northeast quarter a distance of 35.4 feet to the center line of Golf Road for a place of beginning; thence continuing southerly along said west line 186.86 feet; thence southeasterly along a line that forms an angle of 57 degrees 40 minutes to the left with the prolongation of the last described course 488.0 feet; thence northerly along a line that forms an angle of 122 degrees 16 minutes to the left with the prolongation of the last described course 448.11 feet to a point on the center line of Golf Road that is 412.5 feet easterly of the place of beginning; thence westerly along said center line 412.5 feet to the place of beginning, containing 3.007 acres more or less and being situated in Elk Grove Township, Cook County, Illinois.

KNOWN AS: **1901 Golf Road, Rolling Meadows**

PERMANENT INDEX NUMBER(S): **08-17-201-003-0000 AND 08-17-200-004-0000**

## Exhibit B

### **PZC Findings of Fact**

#### **Special Use Standards**

*122-395(4)a. Potential impact: The special use shall not unduly impact adjacent or nearby properties or the general health, safety, and welfare of the general area and overall community. Impacts to be considered include ingress and egress to the site, potential traffic impacts from cars and trucks, and impacts to the appearance and character of the area.*

**Petitioners response:** The Structure will be compatible with similar structures in the Substation's general vicinity, including the pieces of electrical infrastructure which have long existed at the Substation and various utility poles and towers in the transmission right-of-way directly south, all of which have become key features of the existing character of the vicinity. In this manner, the Substation, at the southern edge of the City, is the optimum location for this Structure supporting enhanced grid technology. The Structure's gray color will match the existing Substation electrical equipment, it will be unlit, and all associated electronics equipment will be housed inside an existing building, minimizing any new external facilities within the Substation. The base of the Structure will be screened from nearby properties both by the substation control building and the location of the Structure deep within the Substation. The Structure requires no on-site personnel to operate so no additional traffic will be generated aside from an occasional visit for maintenance and/or monitoring. Finally, the very low (1 watt or less) output power of the Structure's antennae coupled with their intermittent operation (along with compliance with all of the other applicable federal regulations) will allow ComEd's Structure to operate in a manner protective of public health and safety in that radiofrequency emissions are highly attenuated.

*122-395(4)b. Consistency: The proposed special use shall be in keeping with the recommendations and intent of the City's Comprehensive Plan, Official Map, and all other plans and policies adopted by the city.*

**Petitioners response:** As part of its Future Land Use Map, the City's 2019 Comprehensive Plan designates the Substation's zoning lot for utility uses (see Figure 6.3), which will be furthered by the proposed Structure. By helping improve the reliability and efficiency of the local electrical grid, the Structure plays an important role in minimizing outages, important for resiliency of the grid within the City and of key benefit both to its residents and to its non-residential electrical users, and also has a critical role in promoting economic development initiatives in the City's industrial and commercial sectors. The investment by ComEd in the Structure and the Distribution Automation and Voltage Optimization Smart Grid technological initiatives it will support on day one of operation directly advances explicit tactics of Focus Area 8 ("Emerging Opportunities and Challenges") of the City's 2024-2026 Business Development Strategic Plan". Clearly stated in those tactics is a plan for investment "in infrastructure improvements that enhance the City's business districts and facilitate development activities (e.g., enhanced

ComEd infrastructure).” City of Rolling Meadows Business Development Strategic Plan 2024- 2026 at pg. 40.

*122-395(4)c. Trend of development: Special uses should be a logical extension of the trend of development in the area around the subject site and not interfere with the use and development of adjacent or nearby properties.*

**Petitioners response:** The proposed Structure will not be hazardous or disturbing to existing neighboring uses because it will function as an integral but unmanned part of the Substation, just like any other piece of taller electrical infrastructure, with screening of the Structure’s base provided in part by the existing primary equipment enclosure and the location of the Structure deep within the Substation. Other than the Structure, which replaces a similar structure which long existed at the same location (an image of which is included with this application), no additional adjustments to the Substation are proposed in connection with the Project, thus minimizing any external effects..

*122-395(4)d. Public facilities: Adequate public facilities and services shall be available to serve the special use and the property on which it is located; including, without limitation, storm water, sanitary sewer, water service, public safety service, and waste disposal services.*

**Petitioners response:** The Property has adequate public facilities for its current Substation use, which use will not change after installation of the unmanned Structure. No additional requirements at public expense will be created by its installation or operation.

*122-395(4)e. Site design: The on-site development design shall be understandable to users, safe, and maintainable in terms of road and pedestrian patterns, preserve natural features and incorporate such features into a maintainable development, and provide adequate parking, loading, and site maintenance.*

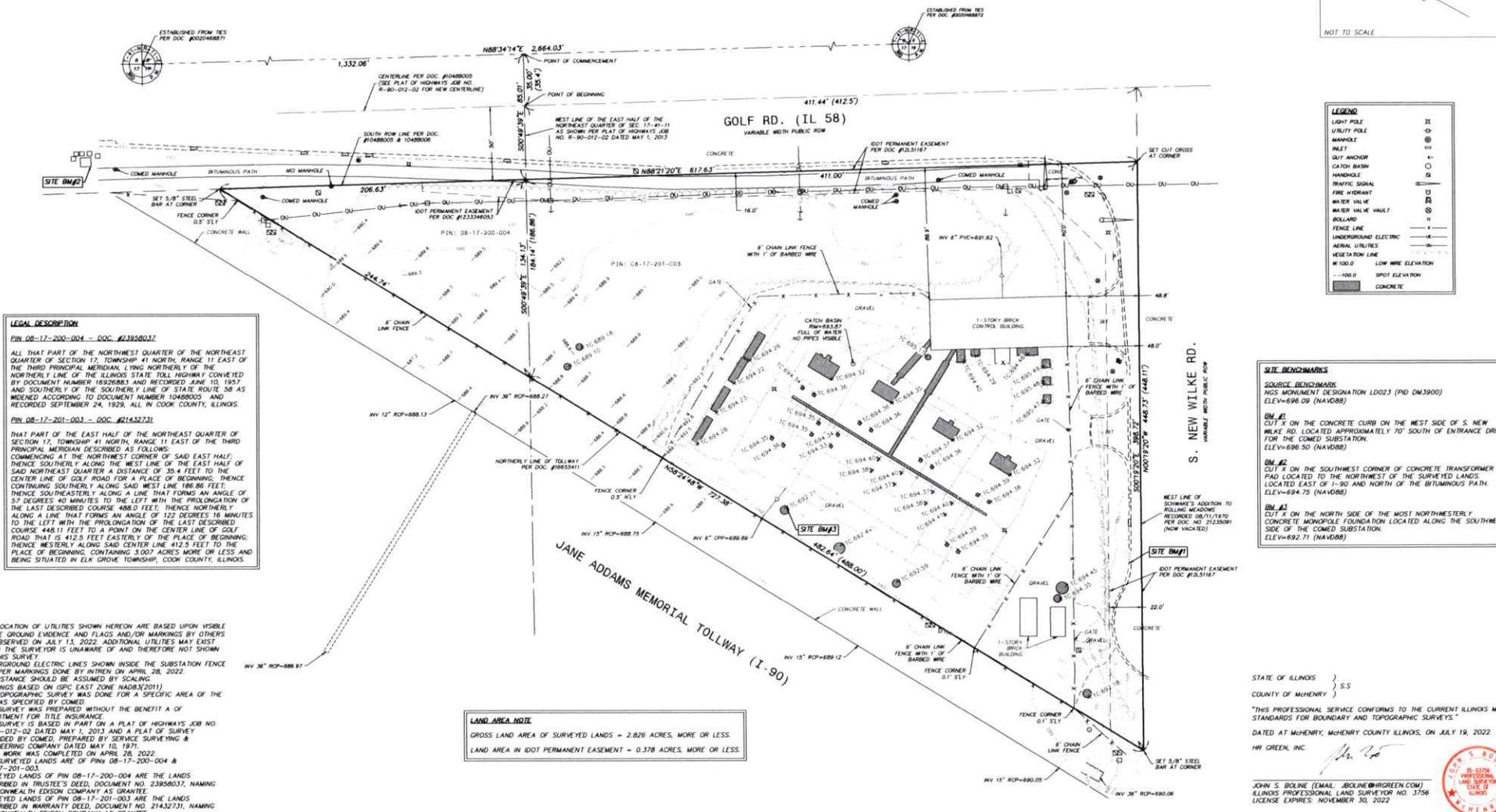
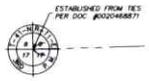
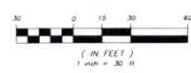
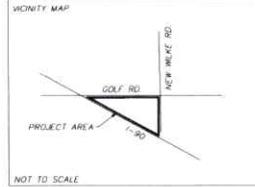
**Petitioners response:** The Property on which the Substation sits has long been developed and used for public utility purposes and itself contains no natural, scenic or historic features of major importance. Further, the Substation is not located next to any natural, scenic, or historic feature of major importance which could potentially be affected by installation of the Structure (which replaces a similar structure long serving the Substation which was removed within the recent short-term). The Structure will be unmanned, unlit and noiseless and will not have any emissions or odors – its operation will not be detrimental to any persons, property or the general welfare. The Substation’s current vehicular ingress and egress design will be continue to be suitable for its operation following installation of the Structure.

**Exhibit C**

**Plans**

# BOUNDARY & TOPOGRAPHIC SURVEY

OF PART OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS



**LEGAL DESCRIPTION**  
**PIN 08-17-200-004 - DOC #23950037**  
 ALL THAT PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LINGING NORTHERLY OF THE NORTHERLY LINE OF THE ILLINOIS STATE TOLL HIGHWAY CONVEYED BY DOCUMENT NUMBER 18020685 AND RECORDED JUNE 10, 1987 AND SOUTHERLY OF THE SOUTHERLY LINE OF STATE ROUTE 58 AS INDICED ACCORDING TO DOCUMENT NUMBER 10488005 AND RECORDED SEPTEMBER 24, 1929, ALL IN COOK COUNTY, ILLINOIS.

**PIN 08-17-201-004 - DOC #21432731**  
 THAT PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID EAST HALF; THENCE SOUTHERLY ALONG THE WEST LINE OF THE EAST HALF OF SAID NORTHEAST QUARTER A DISTANCE OF 35.4 FEET TO THE CENTER LINE OF GOLF ROAD FOR A PLACE OF BEGINNING; THENCE SOUTHEASTERLY ALONG A LINE THAT FORMS AN ANGLE OF 57 DEGREES 40 MINUTES TO THE LEFT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE 486.0 FEET; THENCE NORTHERLY ALONG A LINE THAT FORMS AN ANGLE OF 123 DEGREES 16 MINUTES TO THE LEFT WITH THE PROLONGATION OF THE LAST DESCRIBED COURSE 448.11 FEET TO A POINT ON THE CENTER LINE OF GOLF ROAD THAT IS 412.5 FEET EASTERLY OF THE PLACE OF BEGINNING; THENCE WESTERLY ALONG SAID CENTER LINE 412.5 FEET TO THE PLACE OF BEGINNING, CONTAINING 3.007 ACRES, MORE OR LESS AND BEING SITUATED IN ELK GROVE TOWNSHIP, COOK COUNTY, ILLINOIS.

**NOTES:**

- THE LOCATION OF UTILITIES SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND EVIDENCE AND FLAGS AND/OR MARKINGS BY OTHERS AS OBSERVED ON JULY 13, 2022. ADDITIONAL UTILITIES MAY EXIST WHICH THE SURVEYOR IS UNAWARE OF AND THEREFORE NOT SHOWN ON THIS SURVEY.
- UNDERGROUND ELECTRIC LINES SHOWN INSIDE THE SUBSTATION FENCE ARE PER MARKINGS DONE BY INTRON ON APRIL 28, 2022.
- NO DISTANCE SHOULD BE ASSUMED BY SCALING.
- BEARINGS BASED ON ISPC EAST ZONE NAD83(2011)
- THE TOPOGRAPHIC SURVEY WAS DONE FOR A SPECIFIC AREA OF THE SITE AS SPECIFIED BY COMED.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT A OF COMMITMENT FOR TITLE INSURANCE.
- THIS SURVEY IS BASED IN PART ON A PLAT OF HIGHWAYS JOB NO. R-30-012-02 DATED MAY 1, 2013 AND A PLAT OF SURVEY PROVIDED BY COMED, PREPARED BY SERVICE SURVEYING & ENGINEERING COMPANY DATED MAY 10, 1971.
- FIELD WORK WAS COMPLETED ON APRIL 28, 2022.
- THE SURVEYED LANDS ARE OF PIN 08-17-200-004 & 08-17-201-003.
- SURVEYED LANDS OF PIN 08-17-200-004 ARE THE LANDS DESCRIBED IN TRUSTEE'S DEED, DOCUMENT NO. 23950037, NAMING COMMONWEALTH EDISON COMPANY AS GRANTEE.
- SURVEYED LANDS OF PIN 08-17-201-003 ARE THE LANDS DESCRIBED IN WARRANTY DEED, DOCUMENT NO. 21432731, NAMING COMMONWEALTH EDISON COMPANY AS GRANTEE.

**LAND AREA NOTE**  
 GROSS LAND AREA OF SURVEYED LANDS = 2.826 ACRES, MORE OR LESS.  
 LAND AREA IN IDOT PERMANENT EASEMENT = 0.378 ACRES, MORE OR LESS.

**LEGEND**

LIGHT POLE	II
UTILITY POLE	II
MANHOLE	⊙
INLET	⊙
OUT ANCHOR	⊙
CATCH BASIN	⊙
HANDHOLE	⊙
TRAFFIC SIGNAL	⊙
PAVE WIDENWAY	⊙
WATER VALVE	⊙
WATER VALVE VAULT	⊙
ISLAND	⊙
FENCE LINE	—
UNDERGROUND ELECTRIC	—
GENERAL UTILITIES	—
VEGETATION LINE	—
± 100.0	LOW WIRE ELEVATION
± 100.0	SPOT ELEVATION
—	CONCRETE

**SITE BENCHMARKS**  
**SOURCE BENCHMARKS**  
 INCS MONUMENT DESIGNATION LD023 (PID DM3900)  
 ELEV=696.09 (NAVD83)

**BM #1**  
 CUT X ON THE CONCRETE CURB ON THE WEST SIDE OF S. NEW WILKE RD. LOCATED APPROXIMATELY 70' SOUTH OF ENTRANCE DRIVE FOR THE COMED SUBSTATION.  
 ELEV=696.50 (NAVD83)

**BM #2**  
 CUT X ON THE SOUTHWEST CORNER OF CONCRETE TRANSFORMER PAD LOCATED TO THE NORTHWEST OF THE SURVEYED LANDS. LOCATED EAST OF I-90 AND NORTH OF THE BITUMINOUS PATH.  
 ELEV=694.75 (NAVD83)

**BM #3**  
 CUT X ON THE NORTH SIDE OF THE MOST NORTHEASTERLY CONCRETE MONOPOLE FOUNDATION LOCATED ALONG THE SOUTHWEST SIDE OF THE COMED SUBSTATION.  
 ELEV=692.71 (NAVD83)

STATE OF ILLINOIS )  
 ) S.S.  
 COUNTY OF MCHENRY )

"THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY AND TOPOGRAPHIC SURVEYS."  
 DATED AT MCHENRY, MCHENRY COUNTY ILLINOIS, ON JULY 19, 2022

HR GREEN, INC.

JOHN S. BOLINE (EMAIL: JBOLINE@HGREEN.COM)  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3756  
 LICENSE EXPIRES: NOVEMBER 30, 2022



<p>NICHOLAS L. RUEITIGER, PLS          COMED LAND SURVEY ADMINISTRATOR          1 LINCOLN CENTRE, 13TH FLOOR          OAKBROOK TERRACE, IL 60181          CELL: (815)295-9843          NICHOLAS.RUEITIGER@COMED.COM</p>	<p>ILLINOIS PROFESSIONAL DESIGN FIRM          #184-001322          1391 CORPORATE DRIVE, SUITE 203          MCHENRY, IL 60050-7040          1 815.385.1778 1 815.385.1781          WWW.HRGREEN.COM</p>	REVISION NO. DATE DESCRIPTION 1 06/16/2022 ADDED SPOT ELEVATIONS 2 07/19/2022 ADDED NEW AXES MARKINGS OUTSIDE OF THE SUBSTATION	REVISION NO. DATE DESCRIPTION 1 06/16/2022 ADDED SPOT ELEVATIONS 2 07/19/2022 ADDED NEW AXES MARKINGS OUTSIDE OF THE SUBSTATION	BOUNDARY & TOPOGRAPHIC SURVEY TDC 206 ROLLING MEADOWS John S. Boline, PLS HR GREEN, INC. 220337120 06/16/2022 07/19/2022 17' x 30' 1 OF 1
		PROJECT: TDC 206 ROLLING MEADOWS DATE: 07/19/2022 DRAWN BY: JBOLINE CHECKED BY: NLRUEITIGER SCALE: AS SHOWN SHEET NO.: 1 OF 1		



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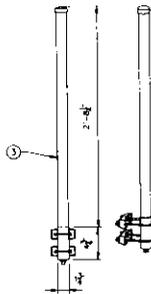
1

SSN INSTALLATION BILL OF MATERIAL (FOR 5 ANTENNAS)				
ITEM	QTY	UNIT	DESCRIPTION	SI #
<b>GROUNDING AND MAST MATERIAL BASED ON C-9868</b>				
1	5	EA	3'-0" STANDOFF, SINGLE SECTOR, TAPER ADJUSTABLE CHAIN MOUNT SILPROD P/N TCMH1-1	
2	9	EA	GROUND KIT 1/2", CAT NO COMMSCOPE P/N SC12-12 B2U	
3	6	EA	GROUND KIT, 3/8", CAT NO COMMSCOPE P/N SC12-12 B2U	
4	5	EA	ANTENNA, 2.4GH, 9dB OMIDIRECTIONAL 1-DM P/N H02408U-PRO	
5	5	EA	C-TAP CONNECTOR 4/0 (RUM), 4/0 (TAP) CAT ID #358731	
6	5	EA	C-TAP CONNECTOR 4/0 (RUM), #2 (TAP) CAT ID #368660	
7	3	EA	TAB TWO HOLE LUGS P/N 548528E PER C735	
8	1	EA	GROUND BAR 1/2" x 4" x 1/2", INCLUDES MOUNTING KIT W/REGULATORS & BRACKETS	
9	3	EA	COMPRESSED 4/0 KCMIL CABLE 2-HOLE PAD 183719	
10	3	EA	COMPRESSED 300 KCMIL CABLE 2-HOLE PAD BUNNY P/N H043094TH	1837120
<b> RISER MATERIAL (CONTRACTOR PROVIDED)</b>				
15	1	EA	STEEL POLE 84 FT (COMED PROVIDED)	

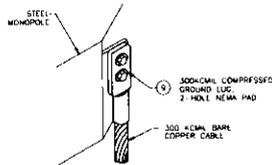
"B1C"

**ANTENNA DIRECTION TABLE**

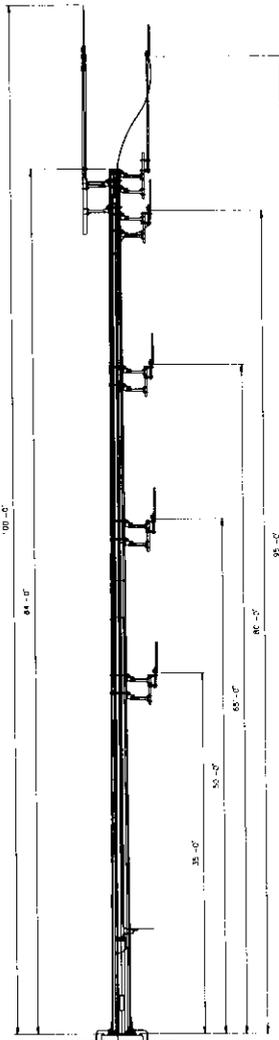
ANTENNA NO.	ANTENNA DIRECTION
ANTENNA #1	NORTH/EAST
ANTENNA #2	NORTH/EAST
ANTENNA #3	NORTH/EAST
ANTENNA #4	NORTH/EAST
ANTENNA #5	NORTH/EAST



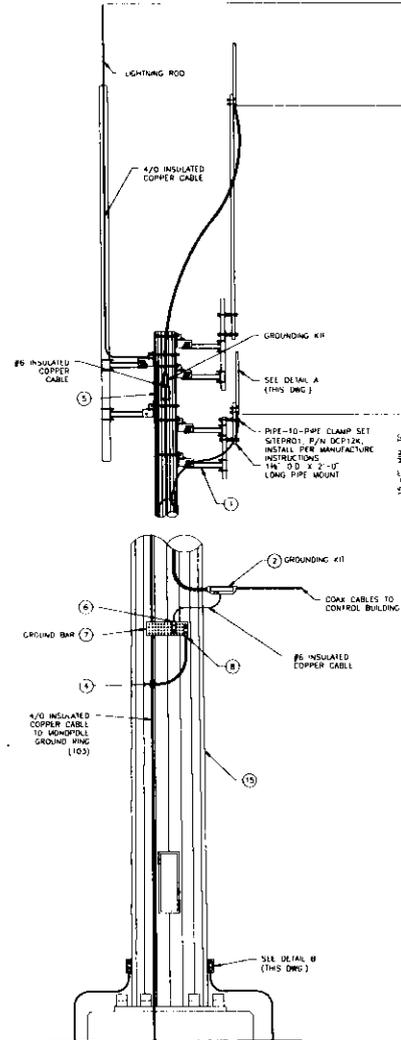
**DETAIL A**  
SSN ANTENNA DETAILS  
SCALE: 1/4"



**DETAIL B**  
CABLE TO 2-HOLE PAD  
SCALE: 1/4"



**DETAIL C**  
ELEVATION OF ANTENNA MONOPOLE  
SCALE: 3/16"



**DETAIL D**  
SSN ANTENNA MOUNTING DETAILS  
SCALE: 3/16"

**CONSTRUCTION NOTES:**

- CONTRACTOR/INSTALLER SHALL TAKE ALL APPROPRIATE PRECAUTIONS TO ENSURE THE SAFETY OF ALL PEOPLE LOCATED ON THE WORK SITE, INCLUDING CONTRACTOR/INSTALLER'S PERSONNEL (OR THAT OF ITS SUBCONTRACTOR(S)) PERFORMING THE WORK.
- FOR GENERAL NOTES SEE DWG 206E 100

**REFERENCE DRAWINGS:**

- PLAN OF PROPERTY AND EQUIPMENT (100)
- PLAN SECTION DETAILS OF CONNECTIONS AND GROUNDING (100)
- WITH ANIMAL DAMAGE MATERIAL TEST SW ANTENNA MONOPOL (100)
- GROUNDING "WALK OF CONTACT" MEASUREMENTS FOR A "B1C" ANTENNA (100)

REVISION 20	ISSUED FOR RECORD, S.D. #1000010	DATE	APPROVED
REVISION 19	ISSUED FOR CONSTRUCTION, S.D. #1000010	DATE	APPROVED
REVISION 21-23	ISSUED FOR COMMENTS, S.D. #1000010	DATE	APPROVED

THIS DRAWING HAS BEEN DRAWN BY OR REPRODUCED FROM A DRAWING PREPARED BY AN ORGANIZATION UNDER THE PATENT & TRADEMARK OFFICE & LABOR IS NOT RESPONSIBLE FOR WORK BY OTHER ORGANIZATIONS.

PROJ. No. 15263-003

**comed** Commonwealth Edison Co.  
Chicago, Illinois

**ANTENNA ABOVE GROUND MOUNTING DETAIL**

TDC 206 ROLLING MEADOWS DC 28  
SCALE: 3/16" = 1'-0" SHEET: DE-11, 14  
DATE: 06-11-14  
206E-270\_S2025-0249