

AN ORDINANCE GRANTING A SPECIAL USE PERMIT
FOR A “SMOKING LOUNGE”
(5540 NEW WILKE ROAD)

WHEREAS, Angel Realty LLC (“*Owner*”) owns the property commonly known as 5540 New Wilke Road, within the City’s C-2 Corridor Commercial Zoning District, which property is legally described in **Exhibit A** to this Ordinance (“*Subject Property*”); and

WHEREAS, Almajaz Corporation (“*Operator*”) desires to operate a Hookah Lounge (“*Business*”) at the Subject Property; and

WHEREAS, in order to allow the Business to operate at the Subject Property, Operator, with Owner’s consent, requested that the City grant a special use to authorize a “Smoking Lounge” at the Subject Property (the “*Requested Relief*”); and

WHEREAS, the City’s Planning and Zoning Commission (“*PZC*”), after notice was provided as required by law, conducted a public hearing on May 6, 2025 to consider the Requested Relief; and

WHEREAS, after taking and considering all testimony presented at the public hearing, the PZC made the findings of fact enumerated in **Exhibit B** and recommended that the City Council approve the Requested Relief; and

WHEREAS, the Corporate Authorities of the City of Rolling Meadows have determined that it would be in the best interest of the City to approve the Requested Relief in accordance with, and subject to, the conditions, restrictions, and provisions of this Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rolling Meadows, Illinois:

Section 1: Recitals. The recitals set forth above are incorporated herein by reference as the findings of the Corporate Authorities.

Section 2: Grant of Special Use Permit. Pursuant to the standards and procedures set forth in Section 122-395 (“Special uses”) and the City’s home rule authority, and subject to and contingent upon the conditions, restrictions, and provisions set forth in Section 3 of this Ordinance, the City hereby approves a special use permit to authorize a “Smoking Lounge” at the Subject Property.

Section 3: Conditions. The Special Use granted in Section 2 of this Ordinance is hereby expressly subject to and contingent on each of the following conditions, restrictions, and provisions:

- A. **No Authorization of Work.** The approvals granted pursuant to this Ordinance do not authorize the development, construction, reconstruction, alteration, demolition, or moving of any buildings or structures on the Subject Property, but merely authorize the preparation, filing, and processing of applications for any permits or approvals that may be required by the codes and ordinances of the City, including without limitation demolition and building permits.
- B. **Compliance with Plans.** Except for minor changes and site work approved by the Zoning Administrator, the Business and the Subject Property must be developed, used, and maintained in substantial compliance with the plans attached as **Exhibit C** (“*Plans*”).
- C. **Compliance with Applicable Law.** In addition to the other specific requirements of this Ordinance, the Business, the Subject Property, and all operations conducted thereon and therein must comply at all times with all applicable federal, state, and City statutes,

ordinances, resolutions, rules, codes, and regulations, including, without limitation, this Ordinance.

- D. Existing Drive-Through Facilities. The drive-through facilities at the Subject Property shall not be used by the Business and the Zoning Administrator may deem their removal to be in substantial compliance with the Plans. Starting on the first day that the Business is open to the public, and until such time that the drive-through facilities are removed, Operator shall maintain methods at both access points to the drive-through aisle in order to prevent vehicular access. Such methods shall be approved by the Zoning Administrator and may include, without limitation, decorative planters and plantings selected for harmony and aesthetic quality with the adjoining building.
- E. Hours of Operation. The Business shall not operate later than midnight on any day. The City Council may, by resolution duly adopted, modify this restriction after the City first provides reasonable written notice in advance to all property owners within 300 feet of the Subject Property prior to considering a resolution modifying the hours of operation.
- F. Outdoor Activity. The Operator may, at a future date, construct either or both outdoor patios shown in the Plans in substantial compliance with the Plans and subject to the approval of the Zoning Administrator ("*Patios*"). The use of the Patios shall comply in all respects with the City's regulations for temporary seasonal outdoor seating in Section 122-76.c.8 of the Zoning Regulations, as may be amended, except that (i) no restaurant need be operated on the Subject Property; and (ii) no sound amplification shall be used on the Patios. In no event shall Operator allow smoking on the Patios. The Patios, constructed and used in a manner consistent with this provision, shall be the only authorized outdoor activity accessory to this special use permit.
- G. Indoor Filtration.
- (1) Installation. Operator shall provide either (i) two Blue Ox OX1100-CF media filtration units or (ii) an alternative system design that provides equal or better performance subject to the approval of the Zoning Administrator ("*Filter Units*"). The Filter Units shall recirculate filtered air within the lounge area shown on the Plans at all times when the Business is open to customers.
 - (2) Maintenance. Operator shall maintain the Filter Units in proper operating condition, in accordance with their original design and manufacturer's instructions, and in a safe and sanitary condition. Operator's maintenance of the Filter Units shall include, at a minimum, a semi-annual inspection by a qualified technician. Operator shall maintain written records of the maintenance of the Filter Units, which shall be open for inspection at all reasonable times by the Zoning Administrator or their designee.

Section 4:

- A. The City shall not be obligated to issue, and may withhold, building permits, certificates of occupancy, and other approvals that do not completely comply with and satisfy the conditions, restrictions, and provisions of this Ordinance.
- B. Upon failure or refusal of the Operator to comply with any or all of the conditions, restrictions, or provisions of this Ordinance, the Special Use granted in Section 2 of this Ordinance may, at the sole discretion of the Corporate Authorities, by ordinance duly adopted, be revoked and become null and void and of no force and effect.

Section 5: The privileges, obligations, and provisions of each and every section and provision of this Ordinance are for and inure to the benefit of and run with and bind the Subject Property, unless otherwise explicitly set forth in this Ordinance.

Section 6: Nothing in this Ordinance shall create, or shall be construed or interpreted to create, any third-party beneficiary rights.

Section 7: Effective Date. This Ordinance shall be in full force and effect from and after its passage, approval, and publication in pamphlet form in the manner provided by law.

PASSED AND APPROVED by the City Council of Rolling Meadows, Cook County, Illinois this 24th day of June, 2025.

AYES: Vinezeano, Reyez, O'Brien, Mayor Sanoica

NAYS: Boucher, Koehler, Budmats

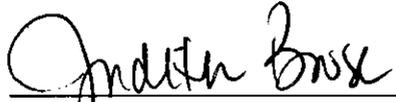
ABSENT: McHale

Passed and approved this 24th day of June, 2025.



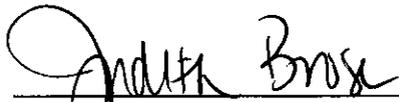
Lara Sanoica, Mayor

ATTEST:



Judith Brose, Deputy City Clerk

Published in pamphlet form this 25th day of June, 2025.



Judith Brose, Deputy City Clerk

Exhibit A

Legal Description

THAT PART OF LOT 4 IN 58-62 VENTURE SUBDIVISION OF PARTS OF SECTIONS 8 AND 9, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPLE MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 4, 114 FEET SOUTH OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH 87 DEGREES, 7 MINUTES EAST, 232.02 FEET; THENCE DUE SOUTH, 120 FEET; THENCE NORTH 87 DEGREES, 7 MINUTES WEST, 232.02 FEET; THENCE DUE NORTH, 120 FEET TO THE POINT OF BEGINNING (EXCEPT THE WEST 17 FEET THEREOF, BY RIGHT ANGLE MEASURE, FOR WIDENING WILKE ROAD), IN COOK COUNTY, ILLINOIS.

KNOWN AS: **5540 NEW WILKE ROAD, ROLLING MEADOWS, ILLINOIS**

PERMANENT INDEX NUMBER: **06-08-403-011-0000**

Exhibit B

PZC Findings of Fact

Special Use Standards

Standard 1. Potential impact: The special use shall not unduly impact adjacent or nearby properties or the general health, safety, and welfare of the general area and overall community. Impacts to be considered include ingress and egress to the site, potential traffic impacts from cars and trucks, and impacts to the appearance and character of the area.

Petitioner's Requested Findings: By following the state and local laws and complying with all relevant regulations, our business will not negatively impact the health, safety, or welfare of the surrounding community. Traffic conditions at the site will remain relatively unchanged, as the ingress, egress, and parking lot are well designed and sufficient for our use. We aim to invest in the building and create a vibrant patio space, exterior improvements, and parking lot re-sealing, which will improve the character of the site and the area.

Standard 2. Consistency: The proposed special use shall be in keeping with the recommendations and intent of the City's Comprehensive Plan, Official Map, and all other plans and policies adopted by the city.

Petitioner's Requested Findings: We are taking into consideration the City's vision and its plans, and believe that the services and business that we offer support the City's goals of diverse business development and supporting multicultural communities. Our business is only a small change in what the building was designed for, and we believe that it is consistent with the intended use of the property.

Standard 3. Trend of development: Special uses should be a logical extension of the trend of development in the area around the subject site and not interfere with the use and development of adjacent or nearby properties.

Petitioner's Requested Findings: This property was a restaurant in this commercial zone. Our business is also a hospitality business, which supports the intended use of the building and will not interfere with the nearby properties.

Standard 4. Public facilities: Adequate public facilities and services shall be available to serve the special use and the property on which it is located; including, without limitation, storm water, sanitary sewer, water service, public safety service, and waste disposal services.

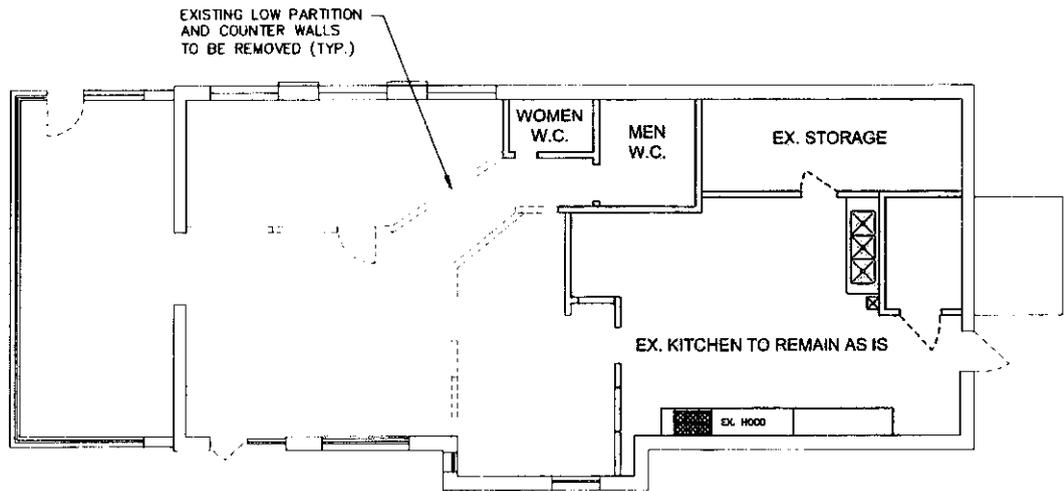
Petitioner's Requested Findings: The infrastructure at this property includes 30 parking spaces, which is enough to meet the required minimum parking requirements. The building itself is in good condition, and has the amenities we need to provide our customers with great service. There are no issues with storm or sanitary sewers, and waste disposal will be in keeping with all requirements.

Standard 5. Site design: The on-site development design shall be understandable to users, safe, and maintainable in terms of road and pedestrian patterns, preserve natural features and incorporate such features into a maintainable development, and provide adequate parking, loading, and site maintenance.

Petitioner's Requested Findings: The preliminary architectural plans show no major changes to the structure, other than small floor plan modifications and new patio space. The safety of pedestrians, accessibility, loading areas, and safe ingress/egress, are central to how we wish to design and operate the business. The current site plan is well organized and understandable for vehicles and pedestrians, and we do not wish to modify the layout significantly at this time. Any potential future modifications will be designed to enhance these features. We aim to build an improved patio space with greenery to improve the site, and will maintain this to a high level.

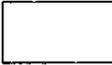
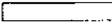
Exhibit C

Plans



1 WALL DEMOLITION
SCALE: 1" = 10'

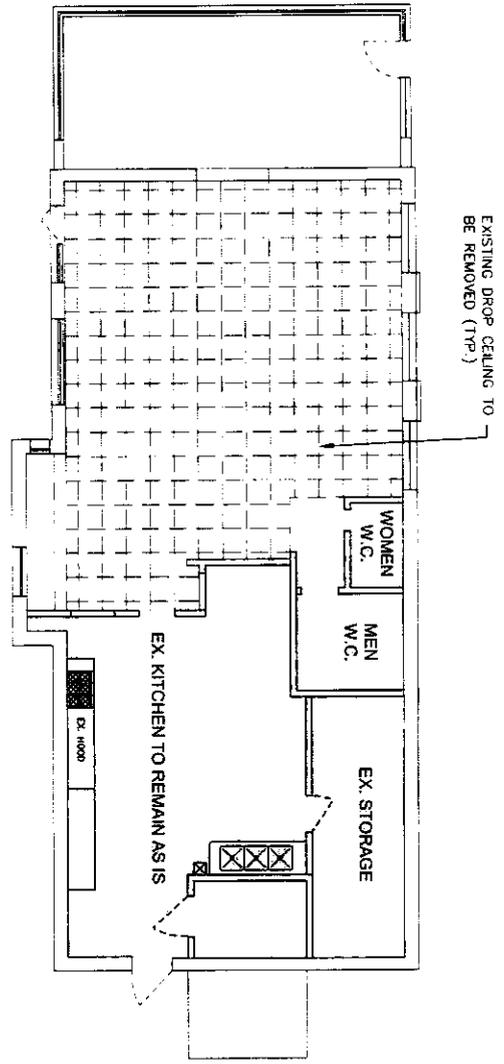
LEGEND:

-  EXISTING AREA TO REMAIN
-  EXISTING WALLS TO REMAIN
-  EXISTING WALLS REMOVAL

NOTE:

1. REFER TO APPROVED PLANS SHEET NO. AD1
DATED: 05.23.18

PROJECT NO. 01-RM-2025	DRAWN BY AHS	CHECKED BY AHS	COMMENTS
<p>MAZAJI LOUNGE BY: ALMAJAZ CORPORATION</p>			
<p>AT: 5540 NEW WILKE ROAD ROLLING MEADOWS, IL 60008</p>			
PROJECT NAME			
DATE: 04-03-2025			
DRAWING NO. D1			



1
CEILING DEMOLITION
 SCALE: 1" = 10'

NOTE:

1. REFER TO APPROVED PLANS SHEET NO. AD1
 DATED 05/23/18

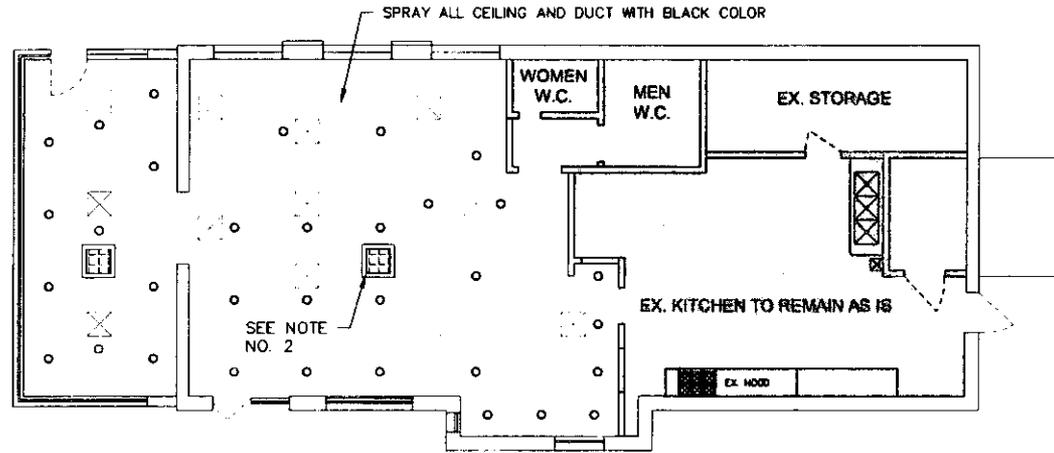
LEGEND:

- EXISTING AREA TO REMAIN
- EXISTING WALLS TO REMAIN

<p>D2</p>	<p>MAZAJi LOUNGE BY: ALMAJAZ CORPORATION</p>	<p>PROJECT NO: 01-RM-2025</p>	<p>PROJECT NAME: MAZAJi LOUNGE</p>
<p>DATE: 04-03-2025</p>	<p>DRAWING NO: D2</p>	<p>DRAWN BY: AHS</p>	<p>CHECKED BY: AHS</p>
<p>AT: 5540 NEW WILKE ROAD ROLLING MEADOWS, IL 60008</p>			

NOTE:

- 1 REFER TO APPROVED PLANS SHEET NO. M1 DATED: 05.23.18
- 2 ADD 2 UNITS OF SMOKE EATER BLUE OX 1100 HIGH PERFORMANCE OR APPROVED EQUAL.



1 CEILING LAYOUT
SCALE: 1" = 10'

LEGEND:

-  EXISTING AREA TO REMAIN
-  EXISTING WALLS TO REMAIN
-  EXISTING DIFFUSERS TO REMAIN
-  NEW LED LIGHT
-  NEW PERFORMANCE SMOKE EATER

PROJECT NO. 01-RM-2025	CHECKED BY AHS
DRAWN BY AHS	COMMENTS

MAZAJI LOUNGE
BY: ALMAJAZ CORPORATION

AT: 5540 NEW WILKE ROAD ROLLING MEADOWS, IL 60008

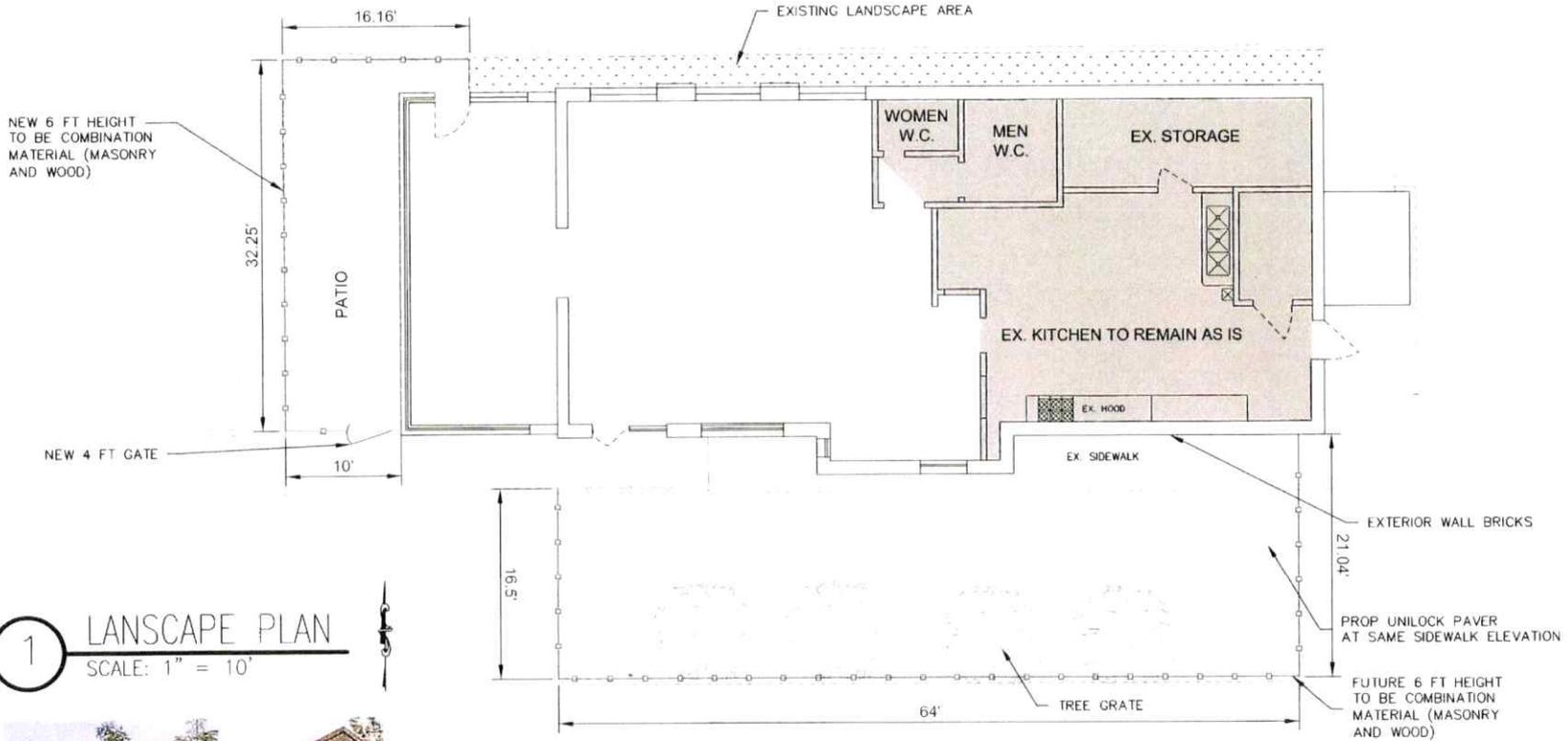
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DATE:

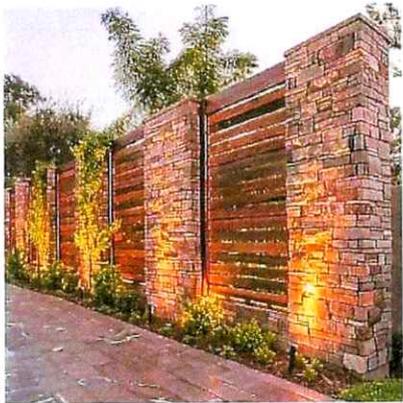
04-03-2025

DRAWING NO:

E1-a



1 LANDSCAPE PLAN
SCALE: 1" = 10'



PROPOSED FENCE



EXTERIOR WALL



TREE GRATE

PROJECT NO. 01-RM-2025	CHECKED BY AHS
DRAWN BY AHS	COMMENTS
MAZAJI LOUNGE BY: ALMAJAZ CORPORATION AT: 5540 NEW WILKE ROAD ROLLING MEADOWS, IL 60008	
PROJECT NAME	DATE 04-03-2025
DRAWING NO. L1	

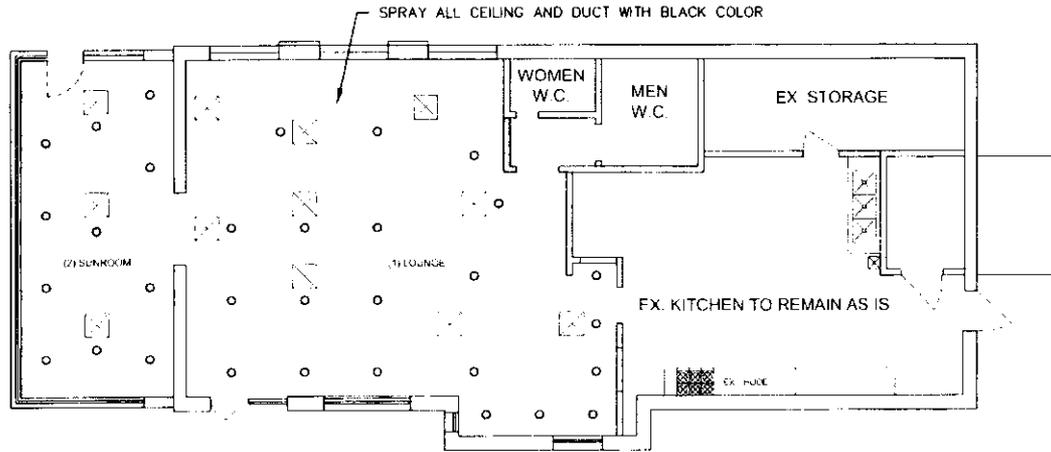
NOTE:

- REFER TO APPROVED PLANS SHEET NO M1 DATED: 05.23.18

MINIMUM VENTILATION RATE:

PER 2018 INTERNATIONAL MECHANICAL CODE PER TABLE 403-3.1.1

OCCUPANCY CLASSIFICATION	OCCUPANT DENSITY A/1000 FT ²	PEOPLE OUTDOOR AIRFLOW RATE: IN BREATHING ZONE R/L CFM/PERSON
SMOKE LOUNGES	70	60



1 CEILING LAYOUT
SCALE: 1" = 10'

SAMPLE VENTILATION SCHEDULE

Room Number	Room Name (Plan)	Room Purpose (per Table 403.3)	Floor Area	Ordinance Requirements				Actual Provided				Equipment		Remarks			
				Natural Light & Vent (SF)		Mechanical Ventilation (CFM)		(RO) Relief Openings Reqmts		Natural Light & Vent (SF)		Mechanical Ventilation (CFM)			(RO) Relief Openings (SF)		
				Class. Area	Vent Area	Supply Air	Exhaust Air (from room)	Volume (CFM)	Area of Duct (SF)	Class. Area	Vent Area	Supply Air	Exhaust Air (from room)		Area of Duct (SF)	Free Area of Grille (SF)	Type & # of equipment supplying air to the room
001	Lounge	Smoking Lounge	1300	116	781	780	0	N/A	760	780	4000	0	N/A	N/A			

LEGEND:

- EXISTING AREA TO REMAIN
- EXISTING WALLS TO REMAIN
- EXISTING DIFFUSERS TO REMAIN
- NEW LFD LIGHT
- NEW PERFORMANCE SMOKE EATER

MINIMUM VENTILATION RATE
PER 2018 INTERNATIONAL MECHANICAL CODE PER TABLE 403-3.1.1

1 OCCUPANT DENSITY = 70/1000 FT²
LOUNGE AREA = 1300 SF
MAX CAP = 1300 SF x 70/1000
MAXIMUM CAPACITY = 91 PERSON

2 OUTDOOR AIRFLOW RATE = 60 CFM/PERSON PER 403-3.1.1
AVAILABLE ROOF TOP UNIT = 10 TON
TYP AIRFLOW RATE 400 CFM PER 10T
TOTAL ROOF > 400 CFM/TON = 4000 CFM
MAXIMUM STOCKING PERSON AT SAME TIME = 66 PERSON

AIRFLOW RATE PROVIDED = 4000 / 66 = 61 CFM/PERSON

AIRFLOW PROVIDED > AIRFLOW REQUIRED
61 CFM/PERSON > 60 CFM/PERSON

The provided outdoor air flow meets and slightly exceeds the minimum ventilation requirement

No additional outdoor air supply is necessary for compliance

PROJECT NO:	01-RM-2025
DRAWN BY:	AHS
CHECKED BY:	AHS
DATE:	

MAZAJI LOUNGE
BY: ALMAJAZ CORPORATION
PROJECT NAME

DATE
04-18-2025

DRAWING NO
E1-a

AT: 5540 NEW WILKE ROAD ROLLING MEADOWS, IL 60008